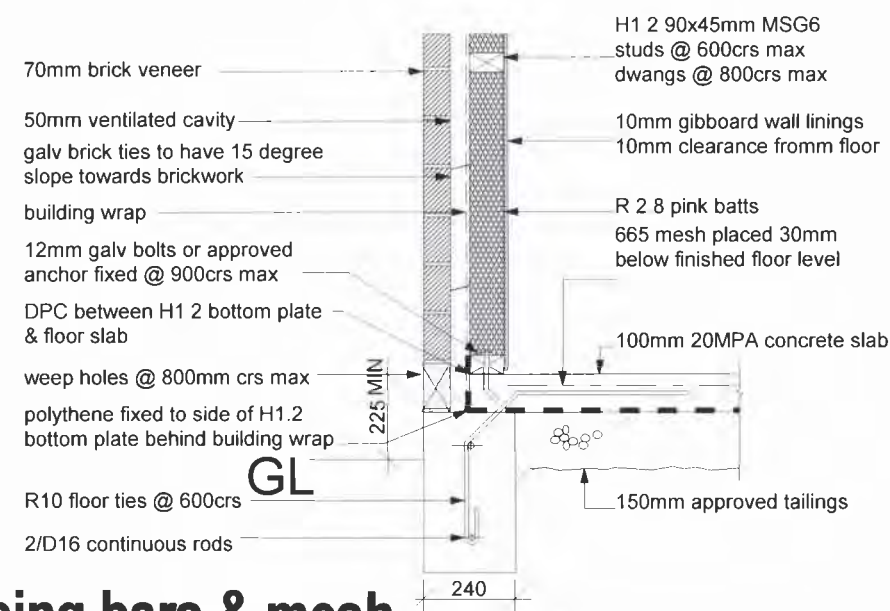
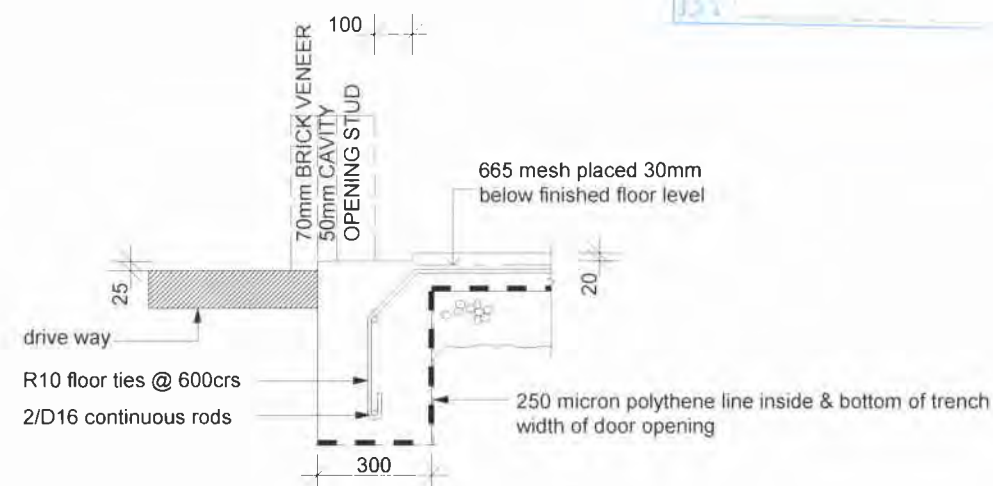




110550



detail 1



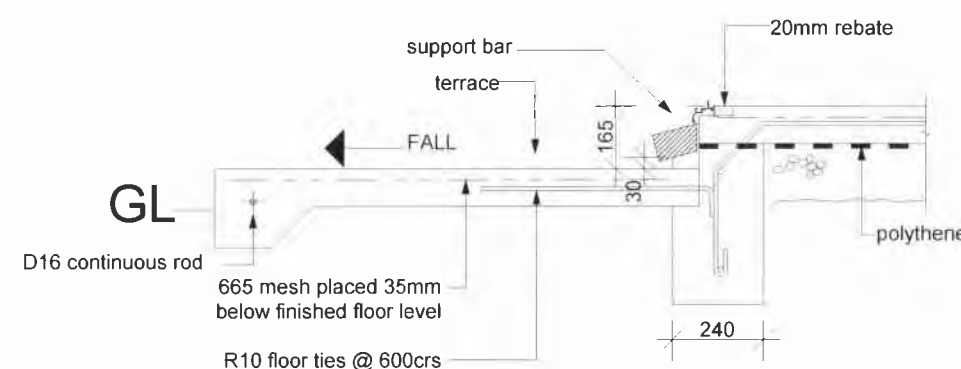
detail 2

NOTES

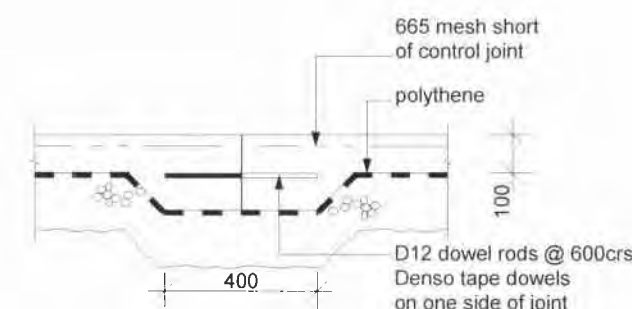
excavations:
prior to pouring concrete all water and loose materials are to be thoroughly cleaned out of excavations
reinforcing:
D are mild steel deformed grade 300E MA
R are mild steel plain grade 300E MA
concrete strength:
20 MPa at 28 days

ANTI-SLIP: on all access routes (both external and internal) provide anti-slip surfaces complying with NZBC D1/AS1 table 2 (surfaces inside entry doors may be considered as dry areas).

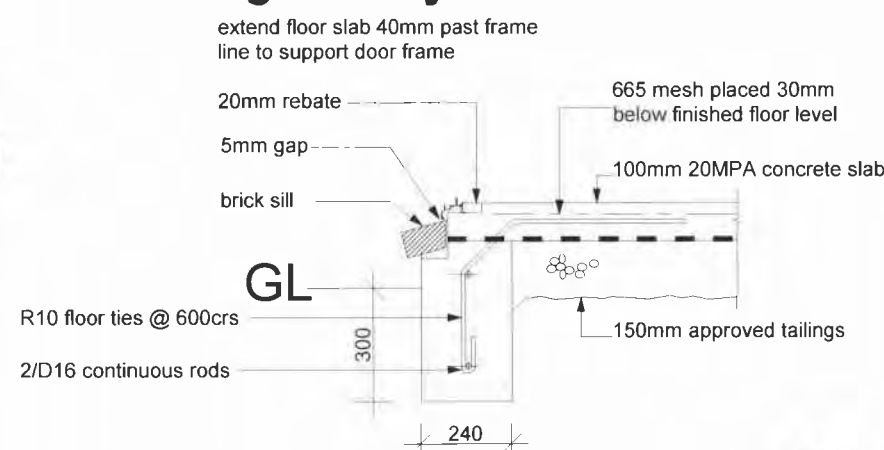
All reinforcing bars & mesh are to meet ductility class E requirements in accordance with NZS 4671 as prescribed by the Department of Building and Housing 19 May 2011



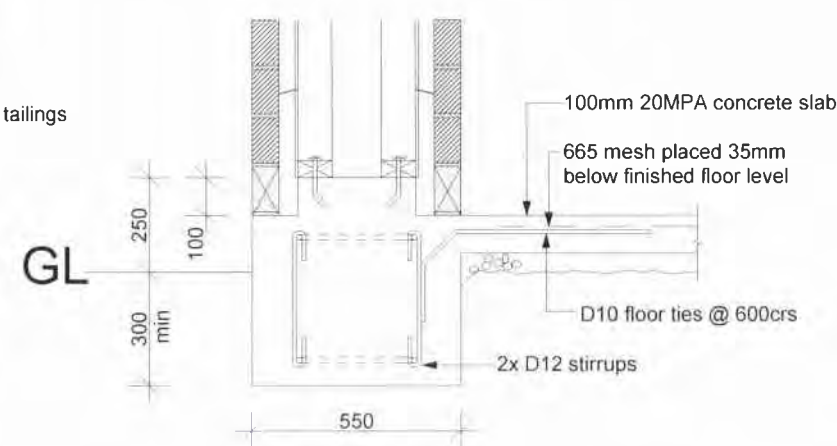
detail 4



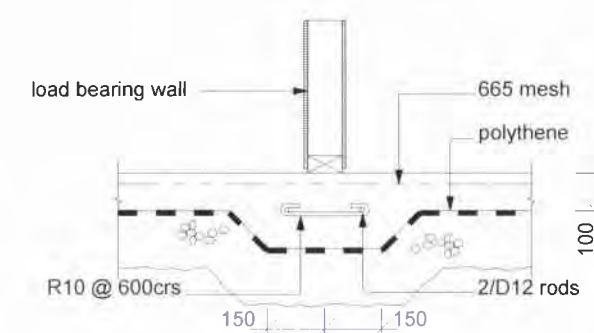
free control joint detail



detail 3



detail 5



slab detail for load bearing walls

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Plans and specifications APPROVED in accordance with the Building Act 2004, clause 49 and the Building Regulations 1992, clause 3.

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HUMPHREYS HOUSE

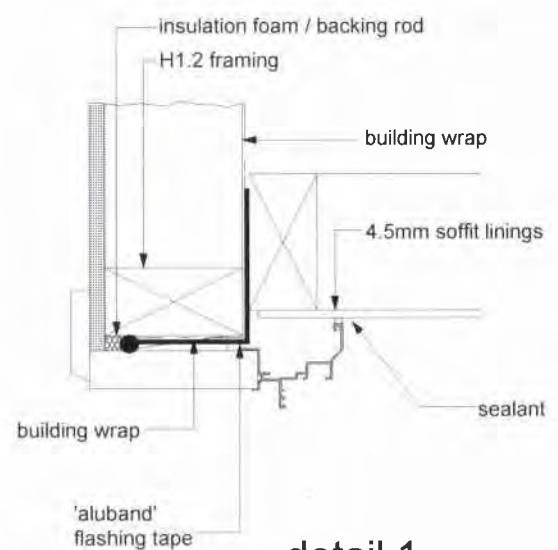
149 Hodgsons Road
Loburn

20-6-11

scale 1:20

foundation details

sheet no **10**



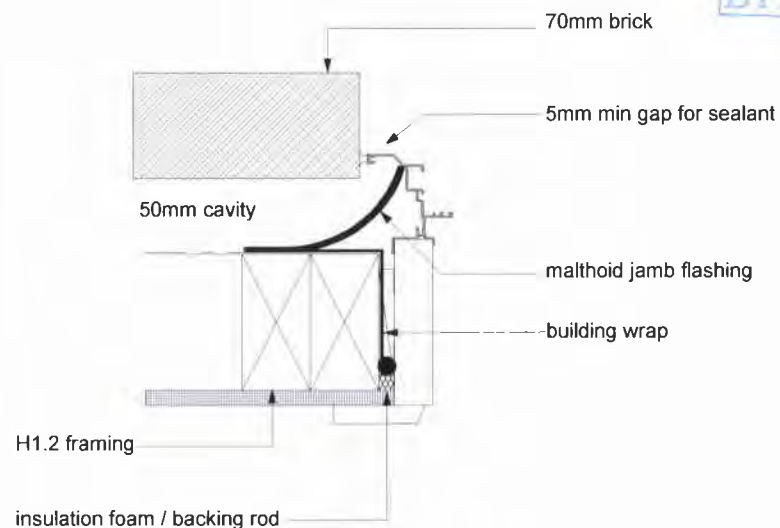
detail 1
window / soffit junction

NOTE:
BUILDING WRAP, FLASHING TAPE &
AIR SEAL TO COMPLY WITH E2/AS1
fig 72

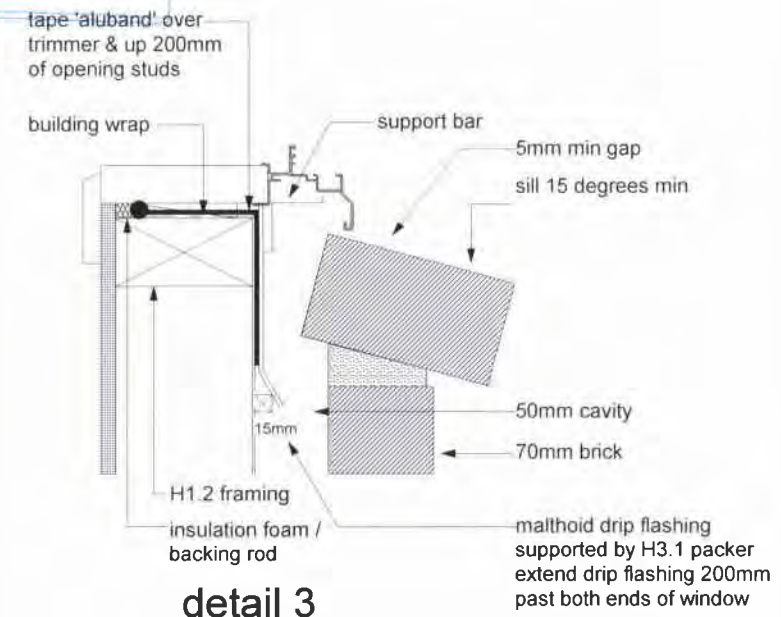
SEALANT: SILAFLEX MS
BUILDING WRAP: THERMACRAFT
COVER UP
FLASHING TAPE: ALUBAND

AIR SEALS ON BACKING RODS TO
ALL WINDOW REVEALS

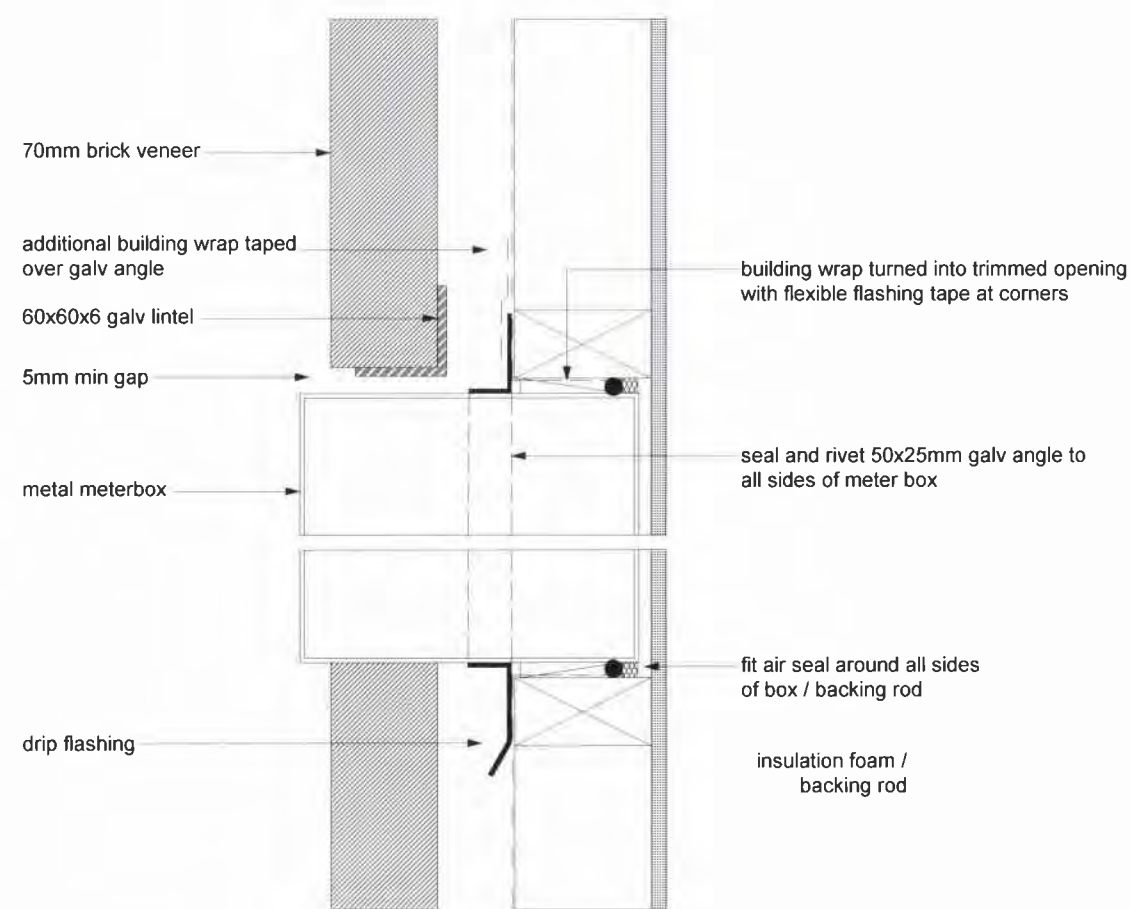
WANZ SUPPORT BARS TO ALL
WINDOW AND DOOR SILLS



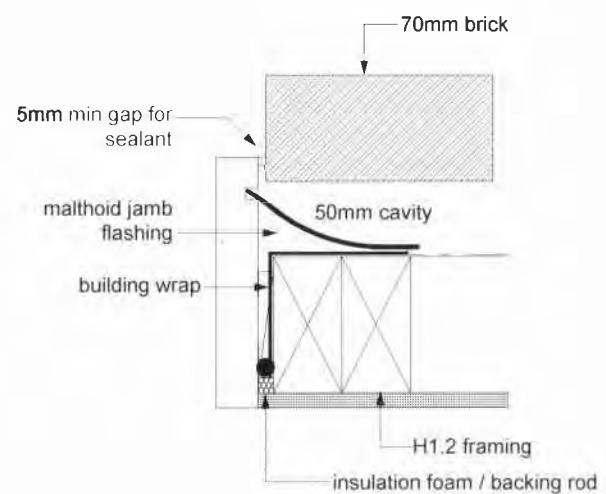
detail 2
brick jamb detail



detail 3
brick sill detail



detail 4
meterbox flashing detail



detail 6
garage jamb detail

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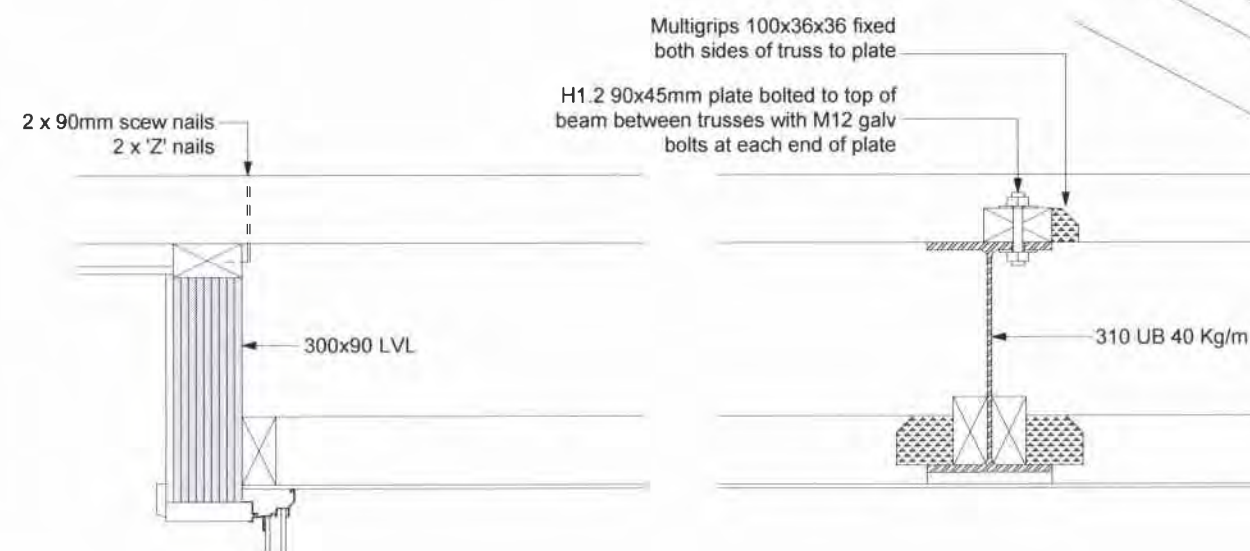
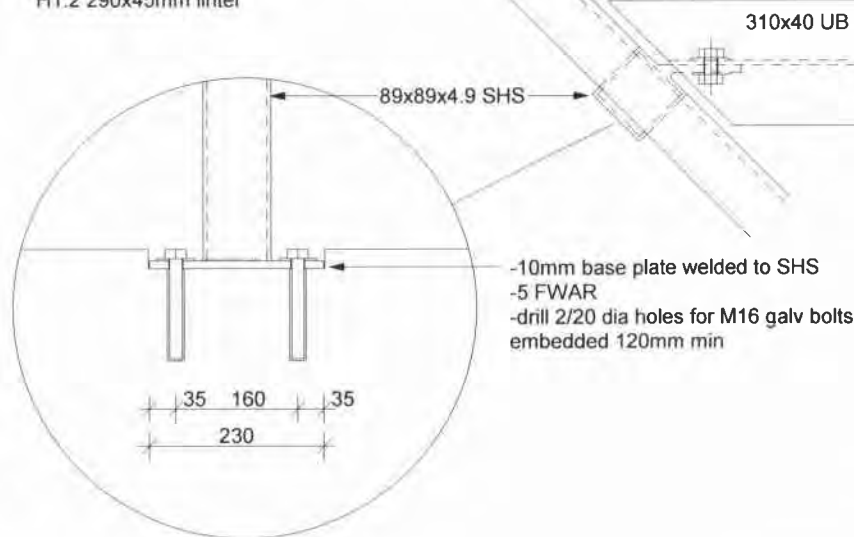
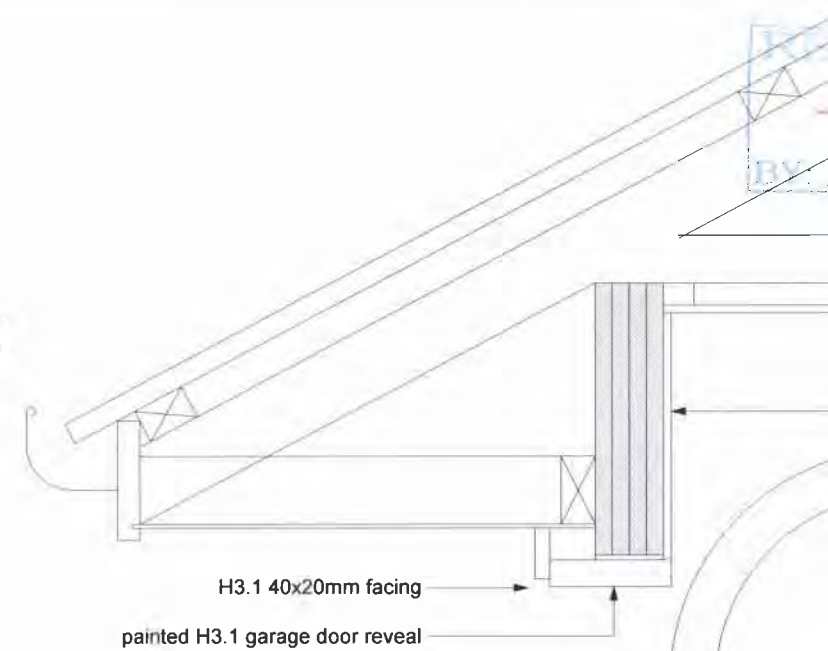
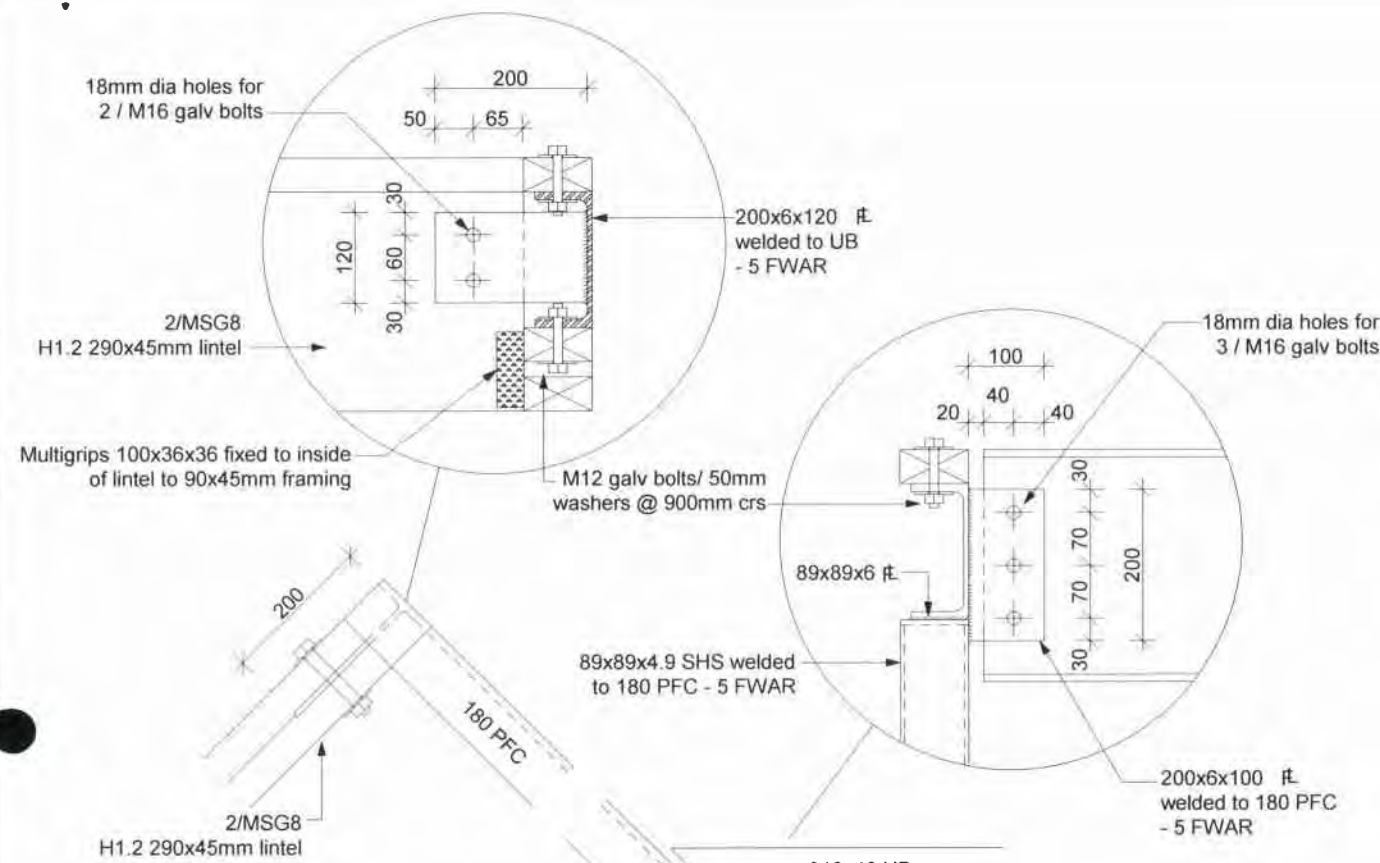
20-6-11

scale 1:5

window details

sheet no 11

110550



dining / patio 300 LVL detail

rafter / top plate fixing:
fixing 2/100x3.75 skewed nails + 2 'Z' nails (uplift 4.7kN)

top plate / stud fixing:
(high wind)
2 / 100x3.75 nails + 50x1mm strapnail

bottom plate / opening stud fixing:
25 x 1mm strap taken under plate and 150mm up each side of stud, with 6/30 x 2.5mm nails into each side of stud (note bottom plate/slab fixing within 150mm of stud)

top plate / lintel (over jack studs) fixing:
25 x 1mm strap taken over top plate and 150mm on each side of lintel with 6/30 x 2.5mm nails into each side of lintel

lintel / opening stud fixing:
25 x 1mm strap with 6/30 x 2.5mm nails on one side only into both lintel & stud (or a 7.5 kN tension connection)

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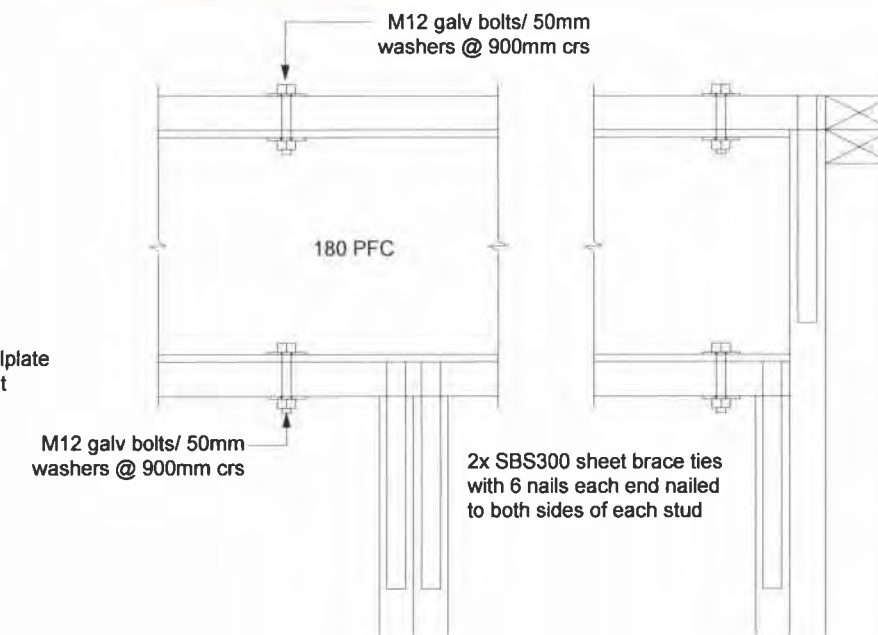
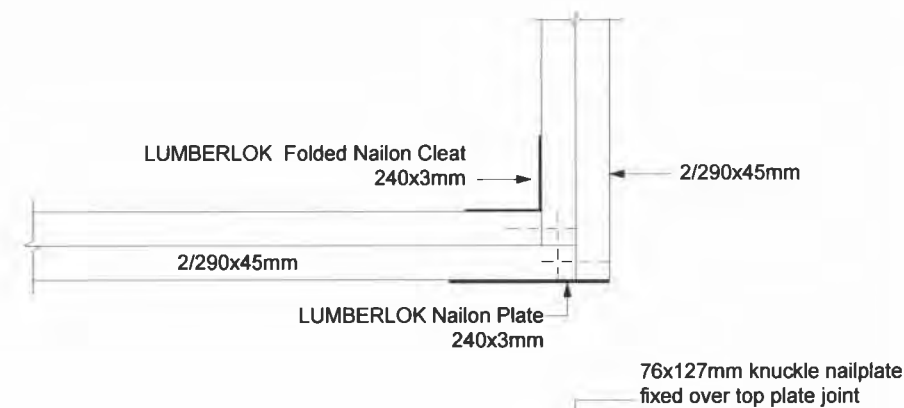
scale 1:10

beam fixing details

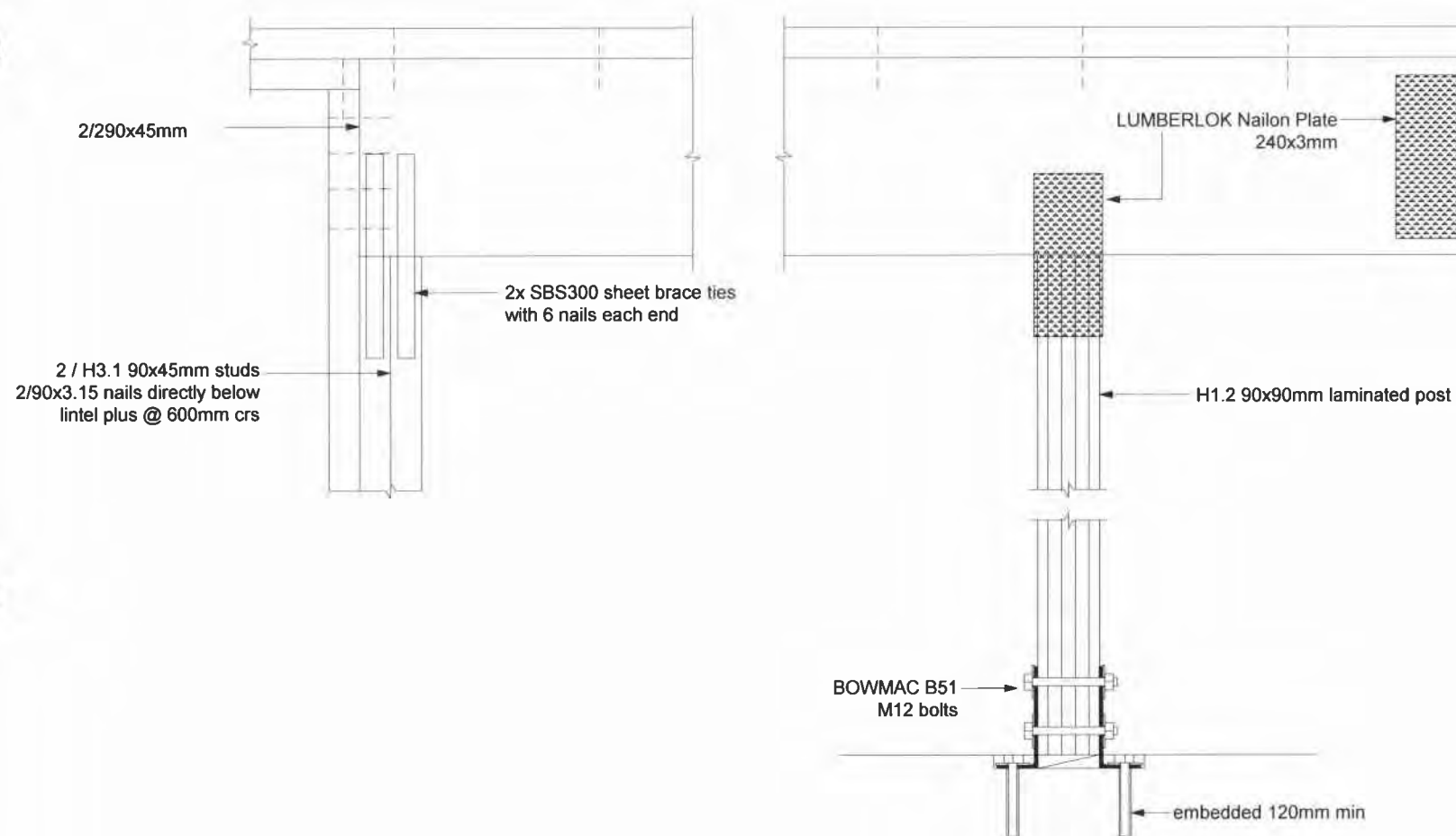
sheet no **12**

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D4 & D6 PFC to wall conection details



W17 cantilevered lintel fixing detail

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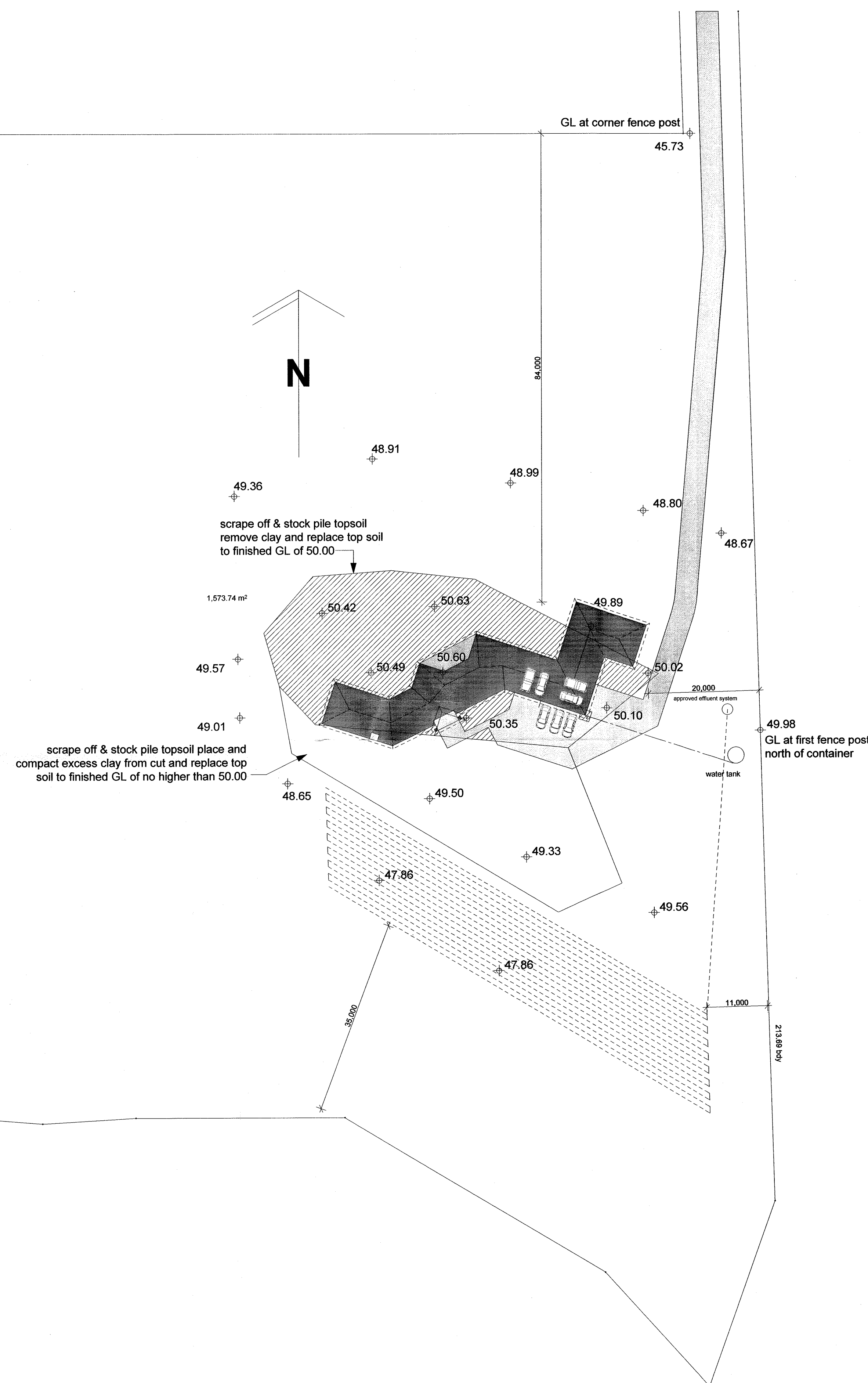
scale 1:10

beam fixing details

sheet no **13**

sheet no	PLAN INDEX	
1	site plan	
2	foundation sanitary plumbing & drainage plan	
3	floor plan	
4	elevations	
5	bracing plan	
6	bracing modules	
7	beam & lintel plan	
8	stormwater plan	
9	cross sections	
10	foundation details	A3
11	window details	A3
12	beam connection details	A3

Lot 2 DP 431621
land area 4.3100Ha
total building land cover 552sqm



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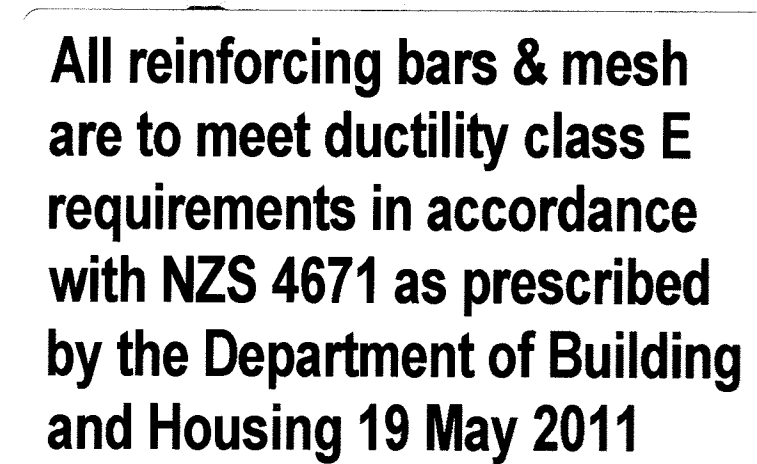
149 Hodgsons Road
Loburn

site plan

scale 1:500

20-6-11

sheet no 01



Note:
All dimensions over foundation face.
The maximum plan dimension of concrete between shrinkage control joints is 6m (665 mesh).
Supplementary reinforcing (2 D10 rods 1200mm long to internal corners, not over control joints.
Concrete:
All concrete shall be 25MPa readymixed to NZS 3104
Levels:
ground level 50.00 as per datum sheet 1
floor level 50.25

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20-6-11

scale 1:100

foundation plan
sanitary plumbing &
drainage

sheet no **02**

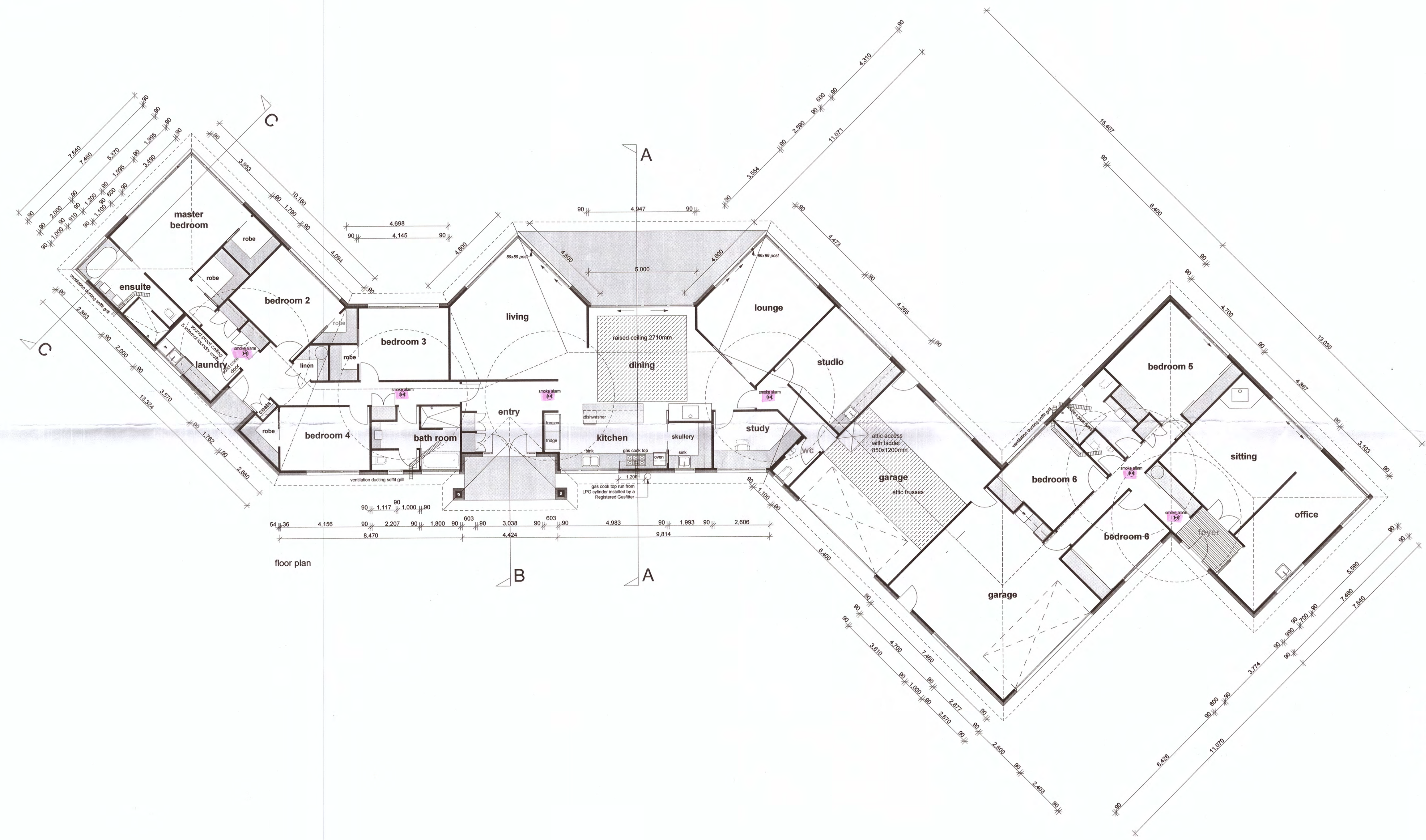
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Refer to PIM report for
conditions of this
application

Approved Application
Amended plans
to remove kitchen in
office.
Plan PIM 110550 PFB
22/11/11

north



south

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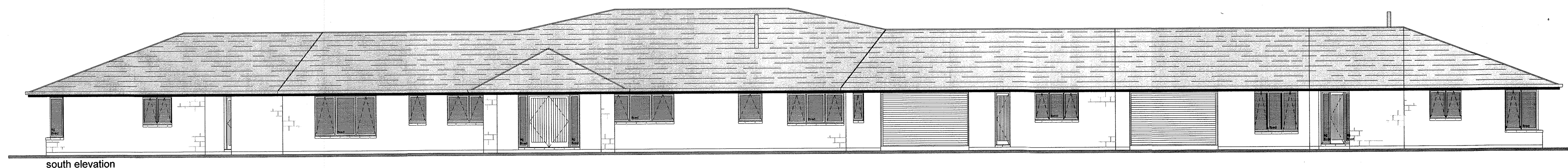
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floor plan

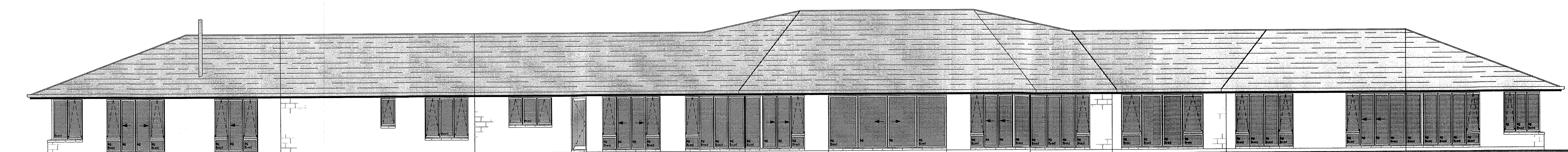
sheet no **03**

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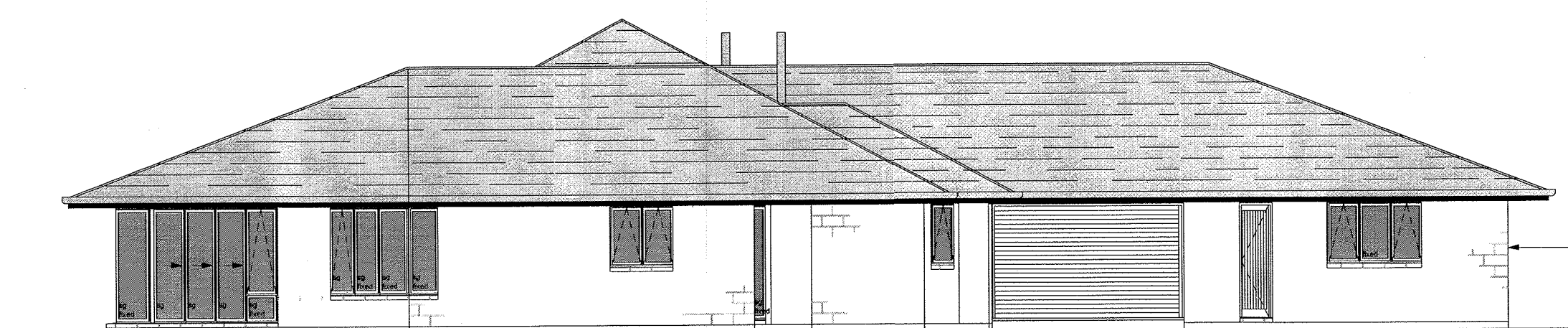
110550



south elevation

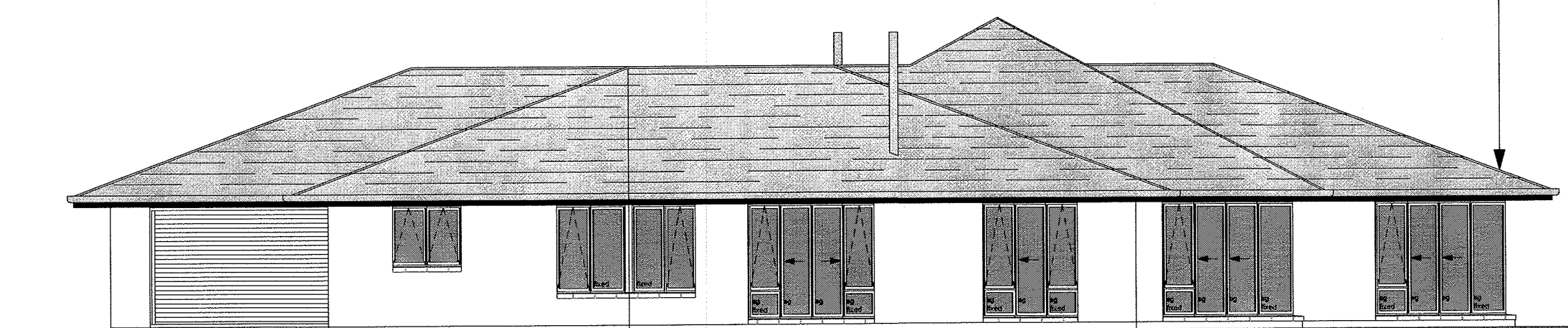


north elevation



west elevation

veneer:
type: clay
size: 70mm



east elevation

roof:
type: Gerard Corona Shake
finish: satin
H1.2 50x40mm tile battens at 370mm center spacings
Tiles fixed with hot dipped galv black coated flat head 50mm x 2.8mm nails

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49 and the Building Regulations 1992,
clause 3.
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HUMPHREYS HOUSE

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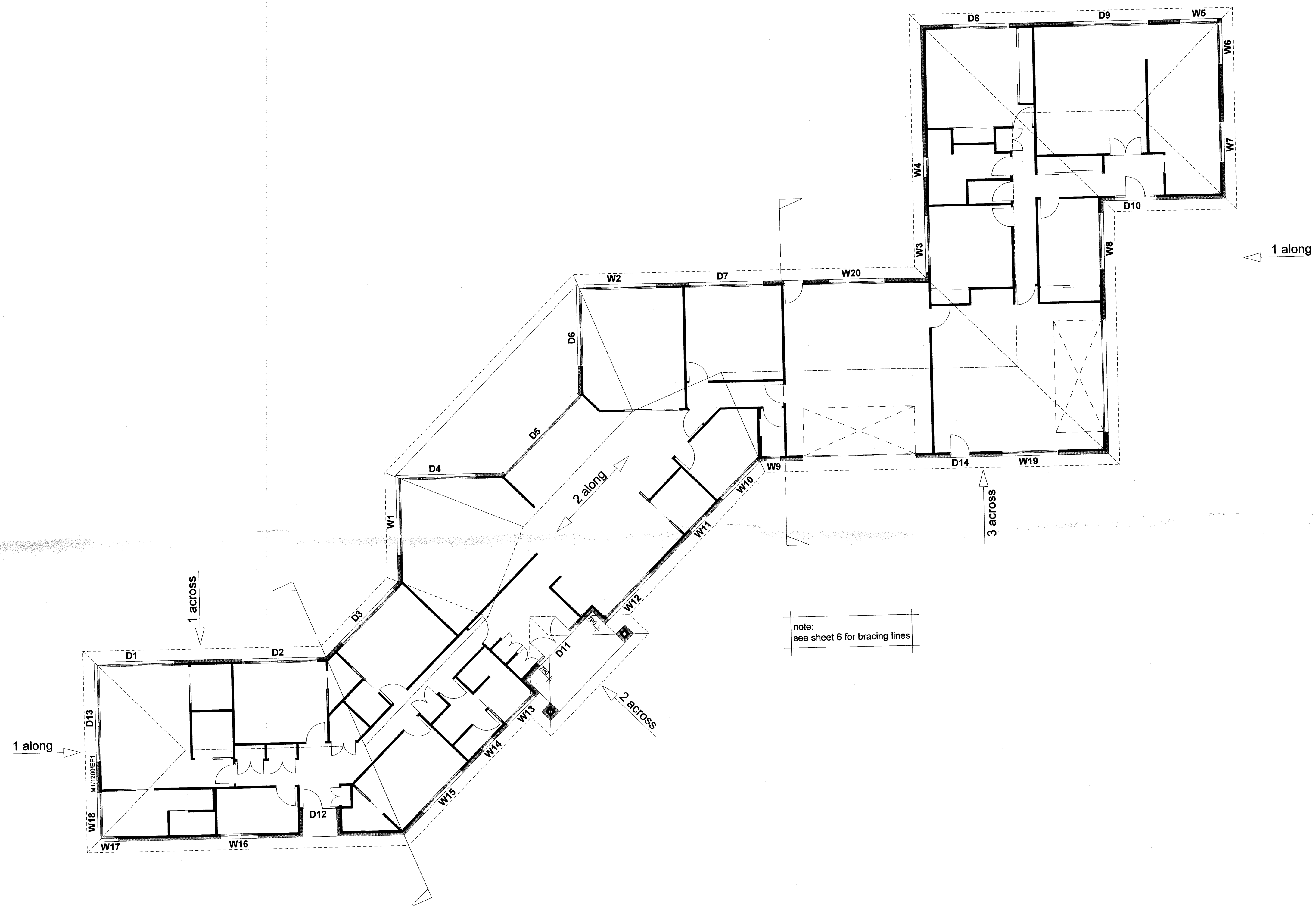
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elevations

sheet no **04**

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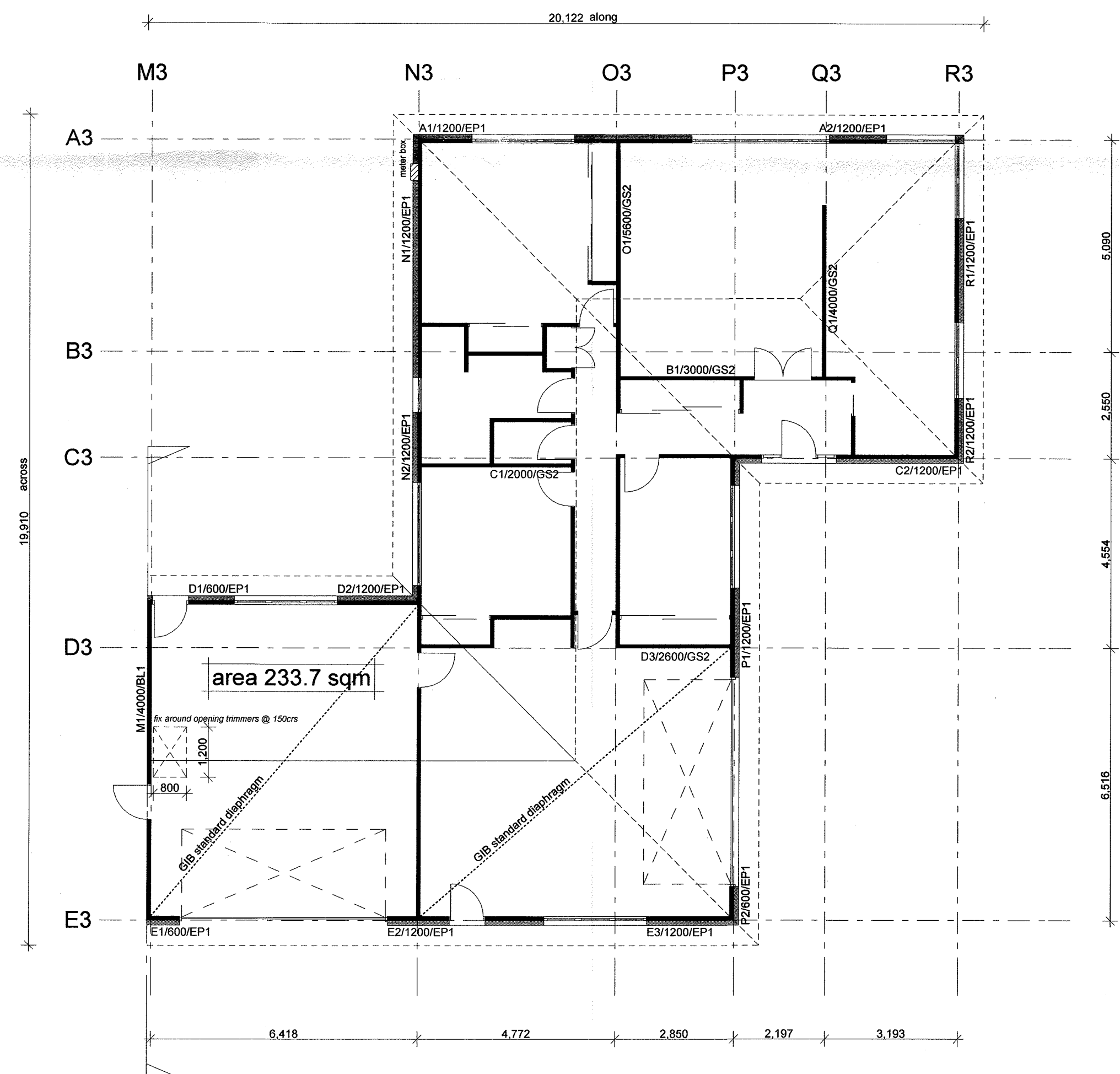
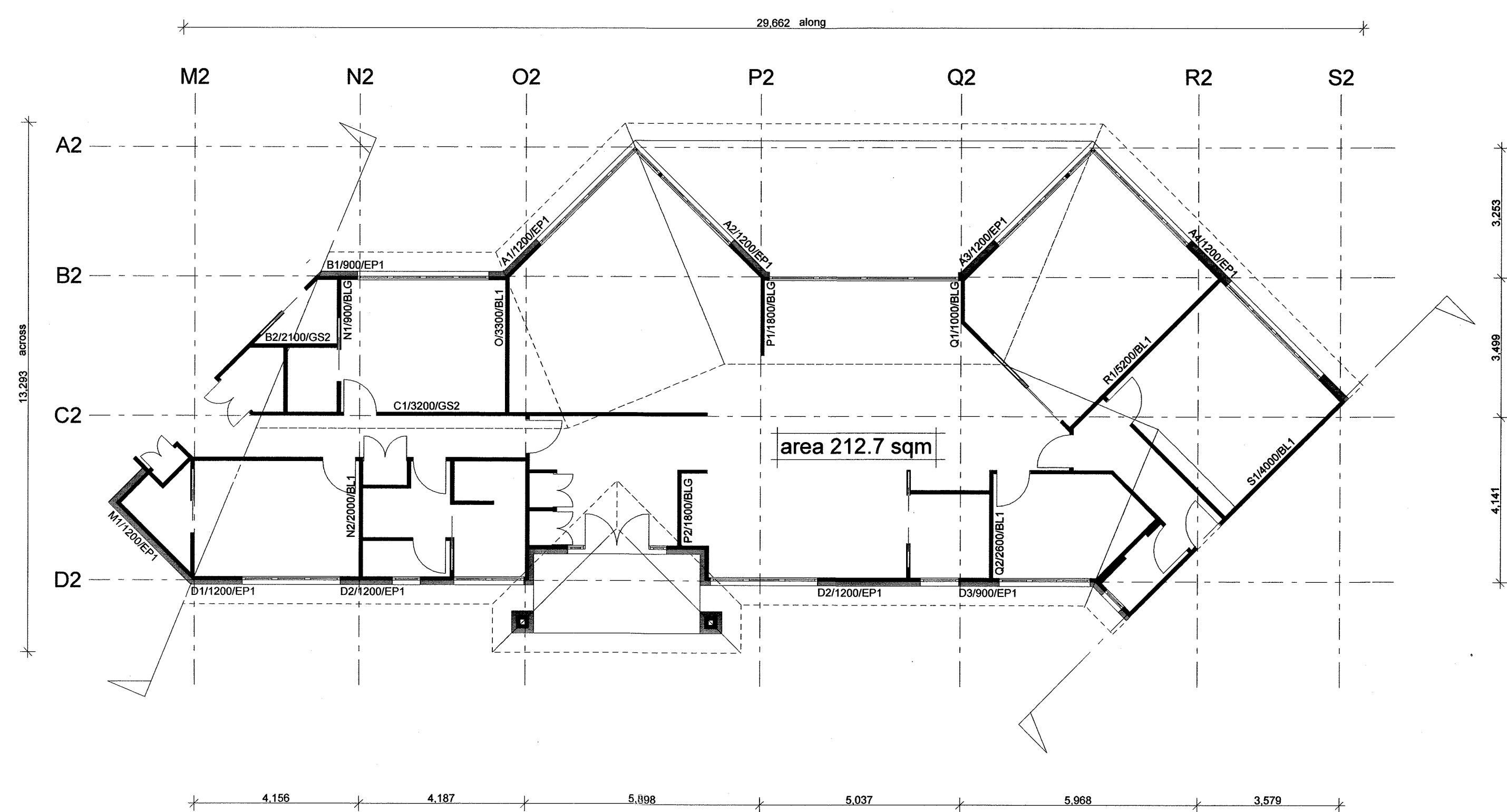
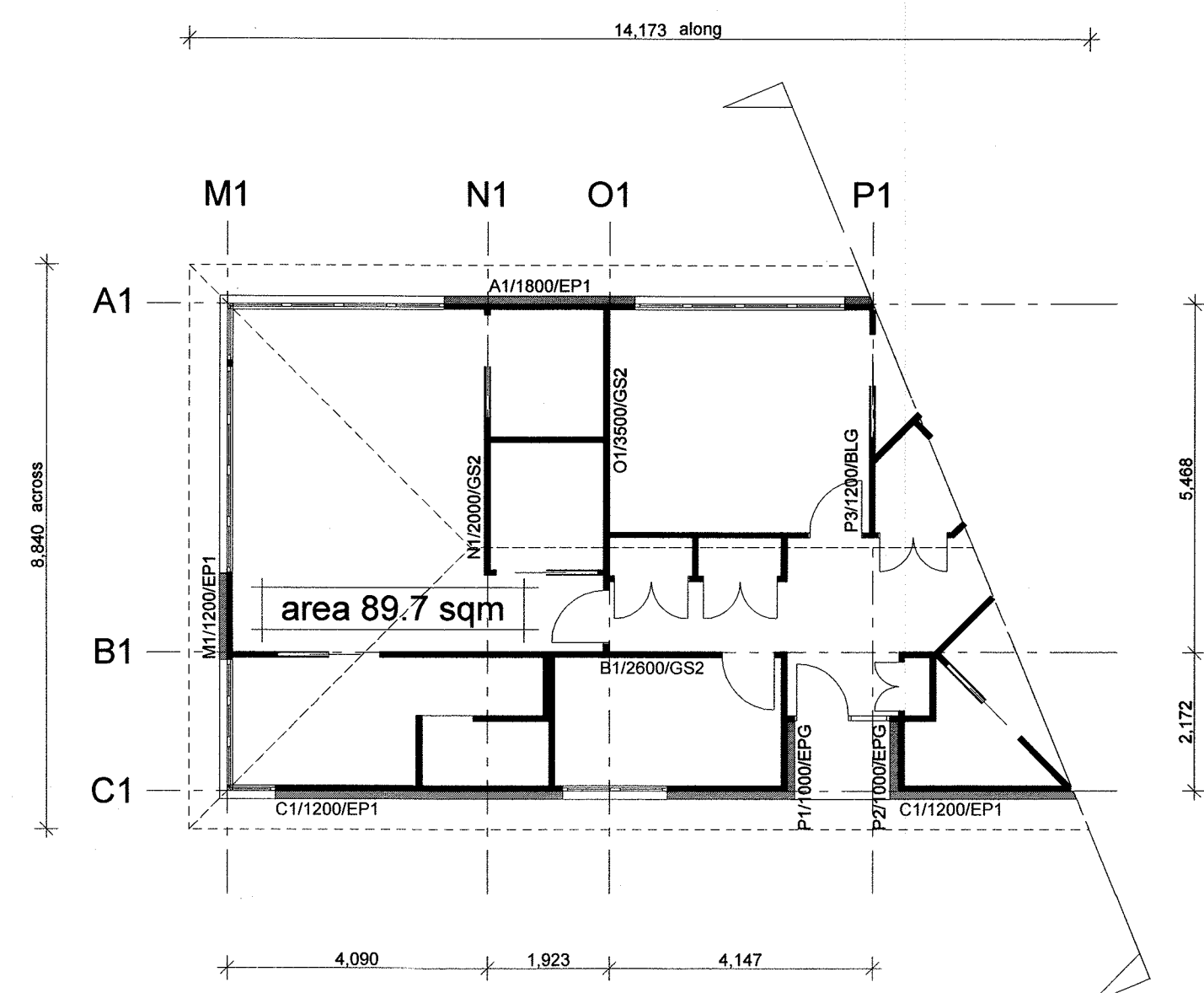
149 Hodgsons Road
Loburn

20-6-11

scale 1:100

bracing plan

sheet no **05**



Bracing calculated using both GIB EzyBrace and Ecoply Bracing System installed in accordance with NZS 3604:1999 as an Acceptable Solution to NZBC Clause B1 Structure. plywood sheet bracing H3.2

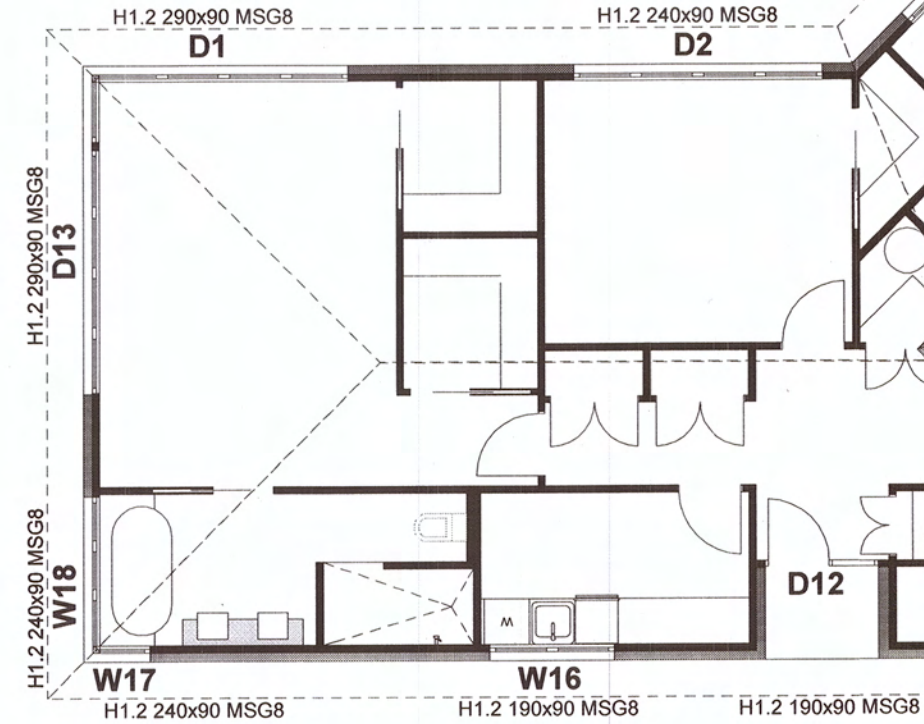
diaphragm
garage ceiling Rondo ceiling battens to be direct fixed to truss bottom cords

roof plane bracing
refer carpenter specs for MiTek brace requirements & fixing details

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-8 JUL 20

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20-6-11

scale 1:100

beam & lintel plan

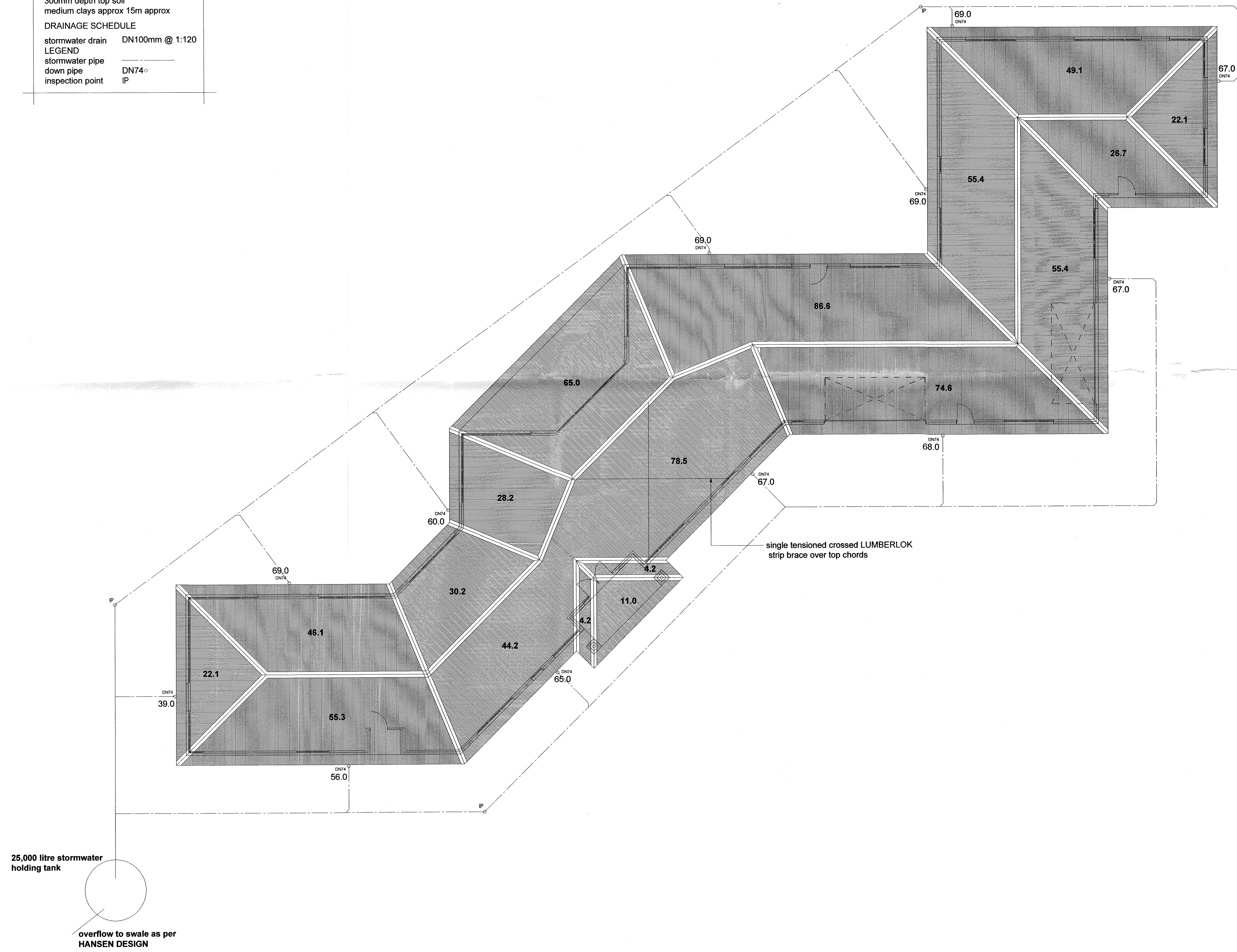
sheet no 07

downpipes:
roof catchment area
759sqm 28 degrees
max 70sqm per 74mm dia down pipe

soakage:
no soakage was found
300mm depth top soil
medium clays approx 15m approx

DRAINAGE SCHEDULE
stormwater drain DN100mm @ 1:120

LEGEND
stormwater pipe
down pipe DN74
inspection point IP



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49 and the Building Regulations 1992,
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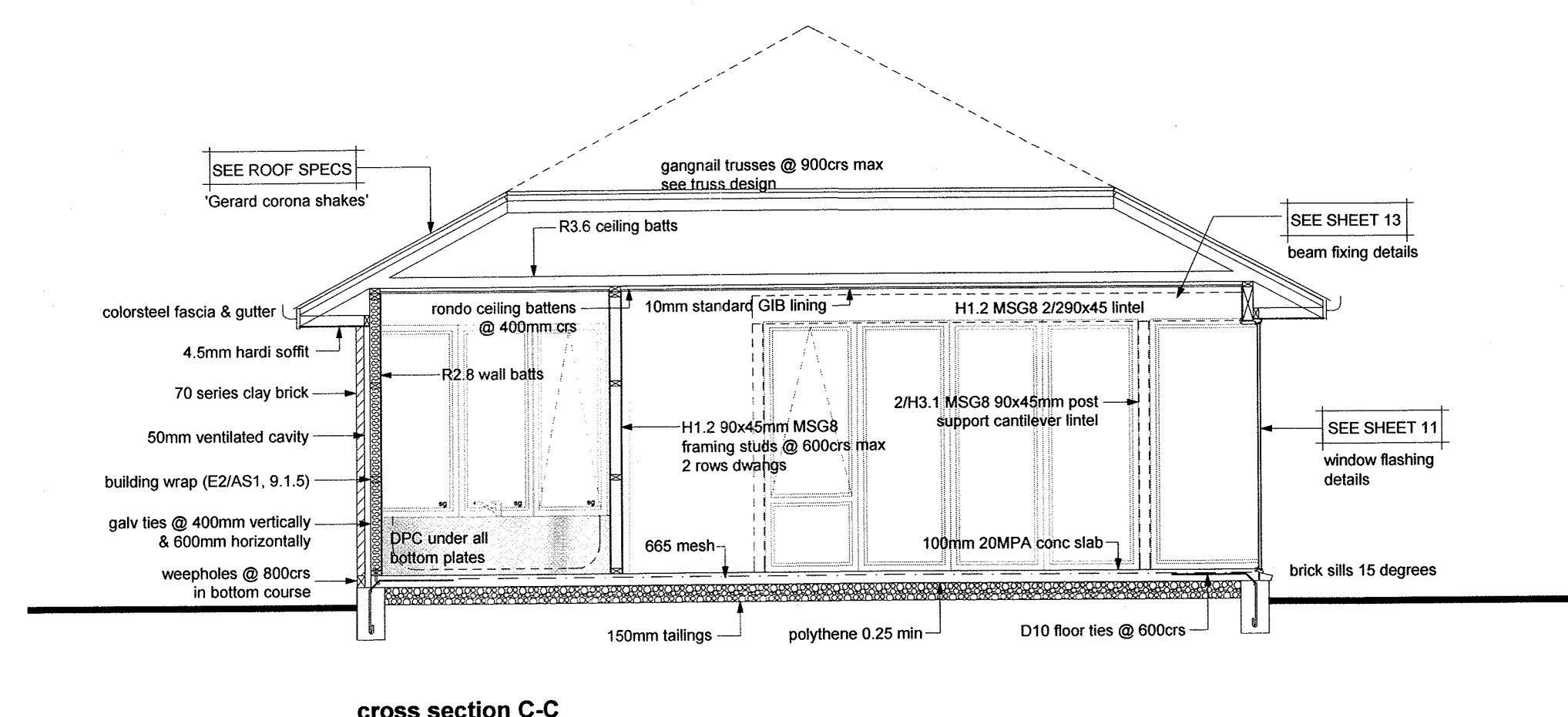
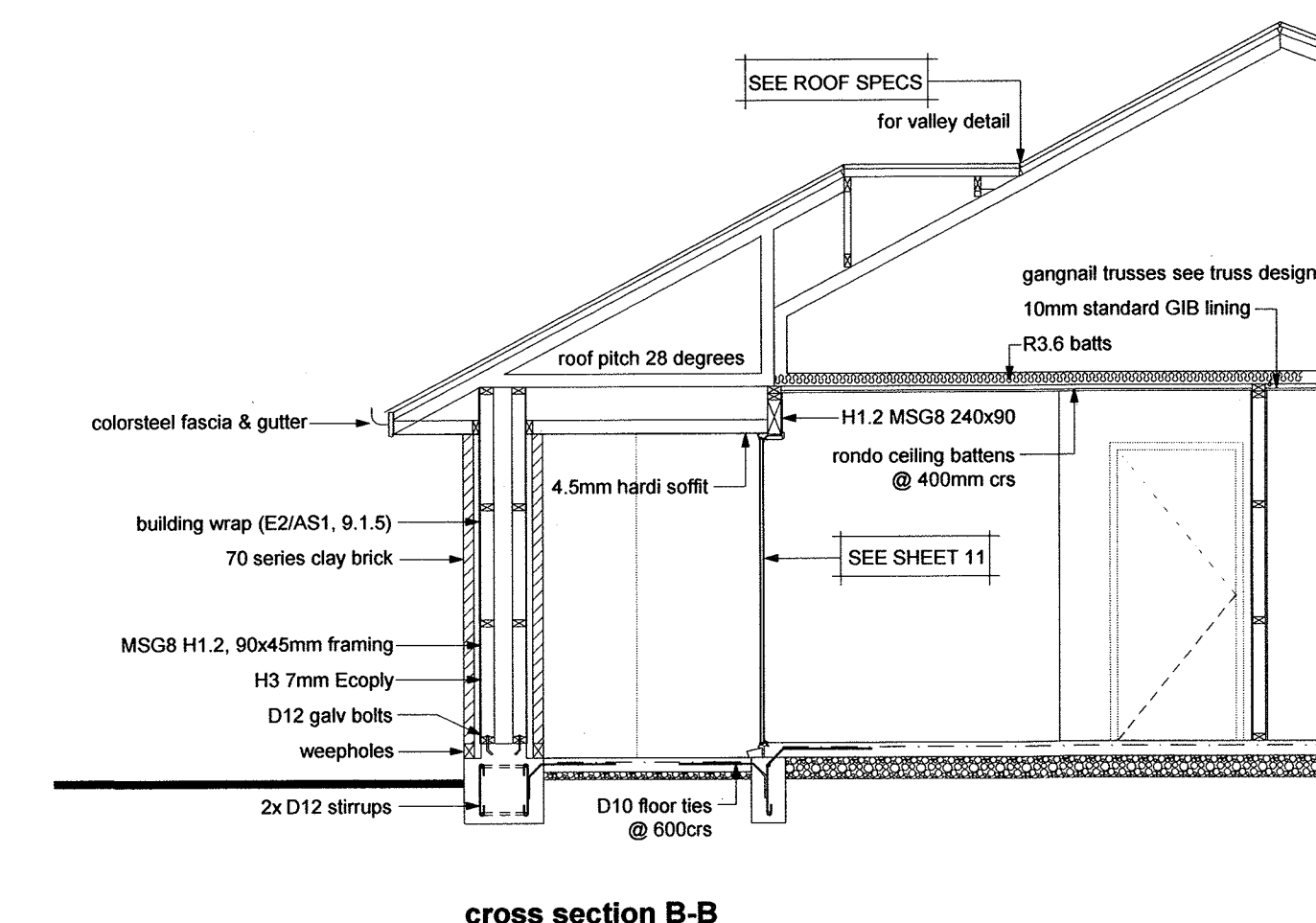
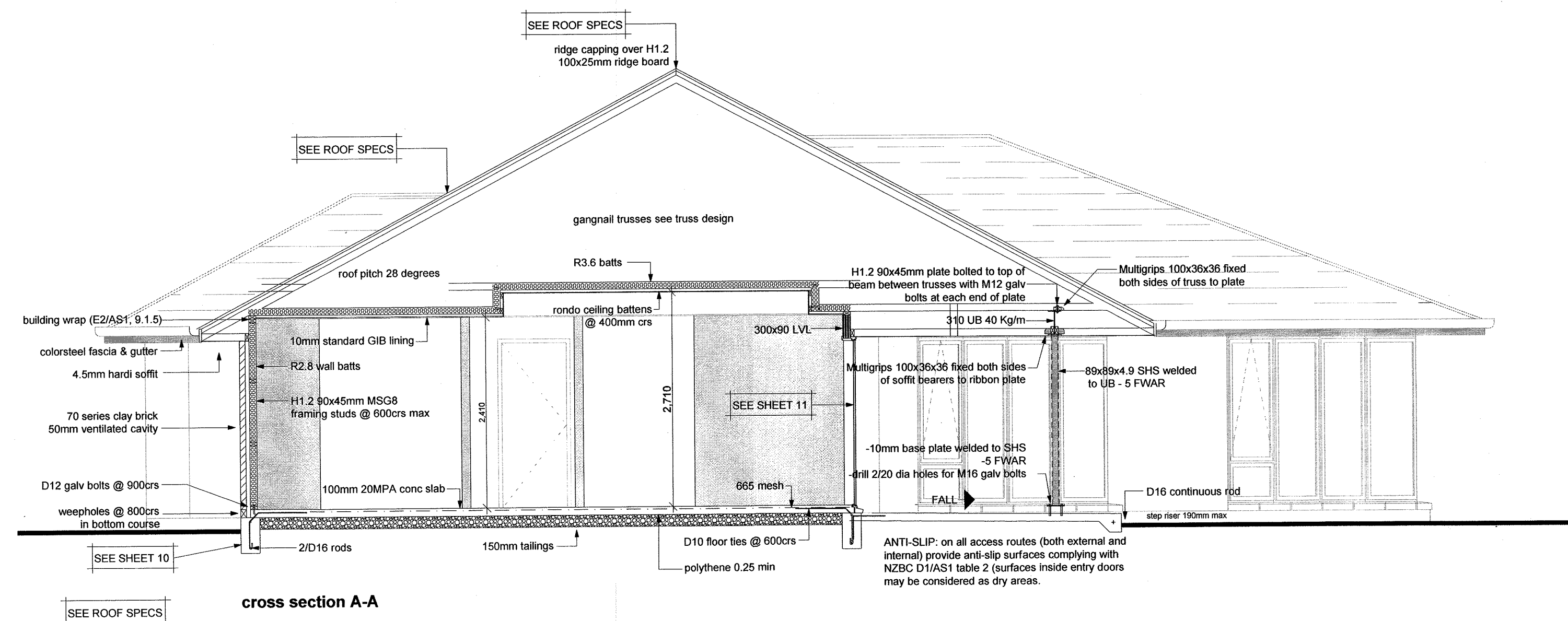
149 Hodgsons Road
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20-6-11

scale 1:100

stormwater plan

sheet no **08**



All reinforcing bars & mesh are to meet ductility class E requirements in accordance with NZS 4671 as prescribed by the Department of Building and Housing 19 May 2011

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49 and the Building Regulations 1992,
clause 3.
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HUMPHREYS HOUSE

149 Hodgsons Road
Loburn

20-6-11

scale 1:100

cross sections

sheet no **09**

SUPERSEDED

sheet no	PLAN INDEX	
1	site plan	
2	foundation	
	sanitary plumbing & drainage plan	
3	floor plan	
4	elevations	
5	bracing plan	
6	bracing modules	
7	beam & lintel plan	
8	stormwater plan	
9	cross sections	
10	foundation details	A3
11	window details	A3
12	beam connection details	A3

SUPERSEDED



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conditions of this
application

Approved Application
Plan PIM 110550-008
28/5/11

SUPERSEDED

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167 Hodgsons Road
Loburn

site plan

scale 1:500

5-5-11

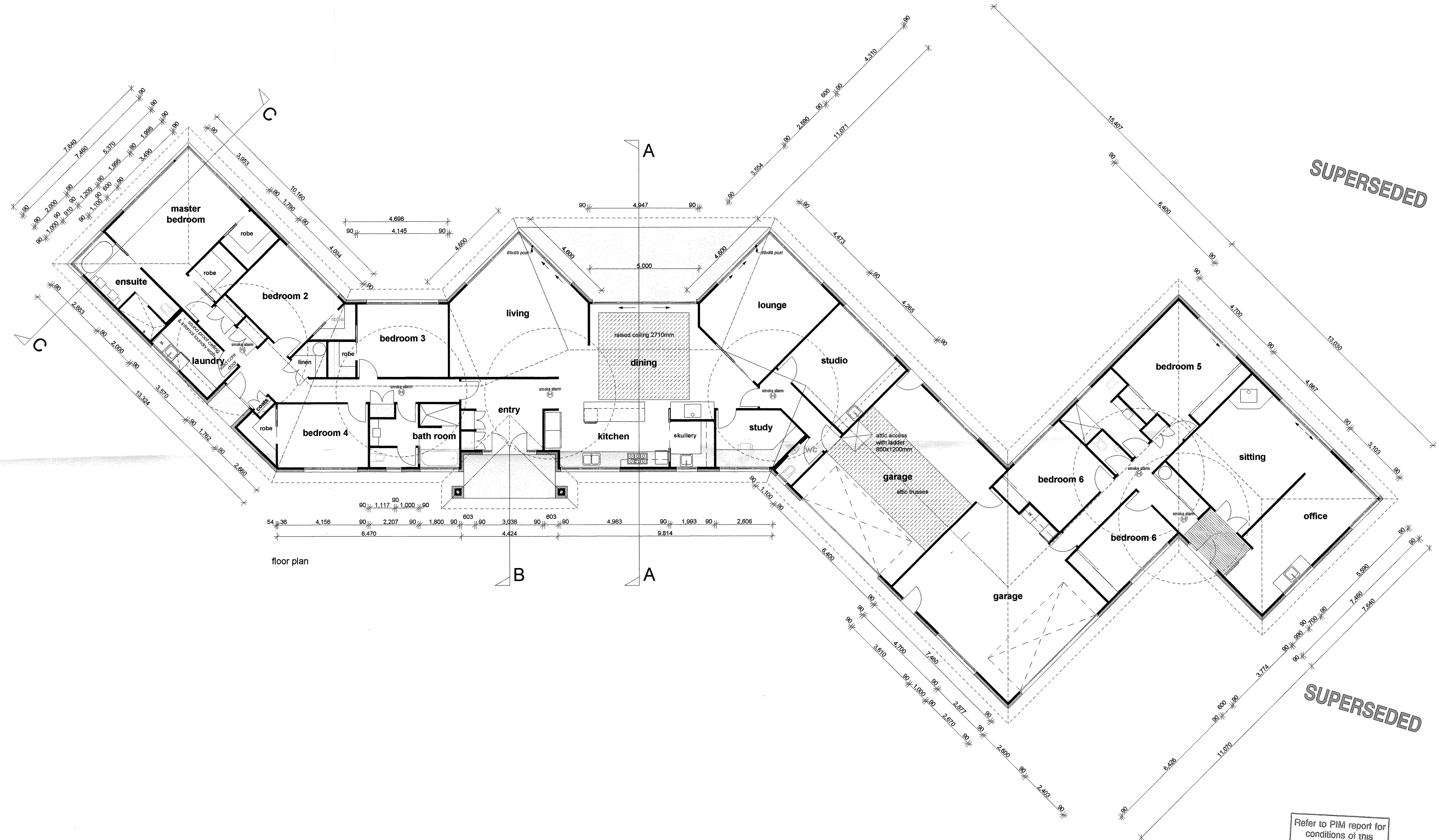
sheet no **01**

north

SUPERSEDED

SUPERSEDED

east



floor plan

south

SUPERSEDED

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Approved Application
Plan PIM 110550 2008
23/5/11

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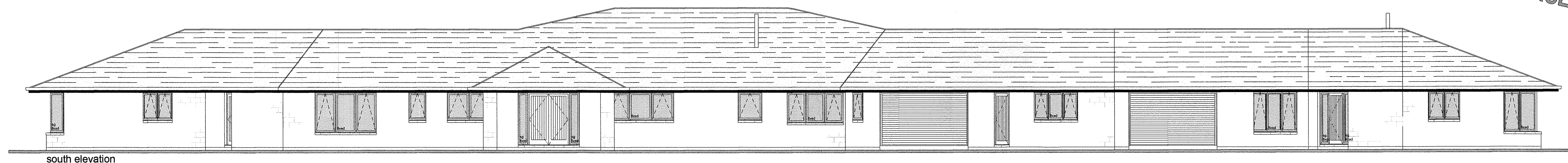
167 Hodgsons Road
Loburn

5-5-11

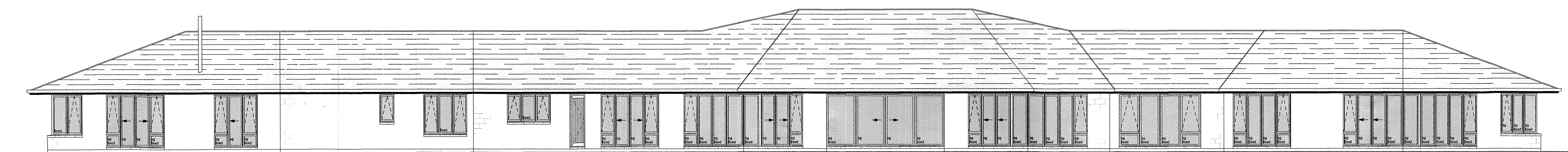
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floor plan

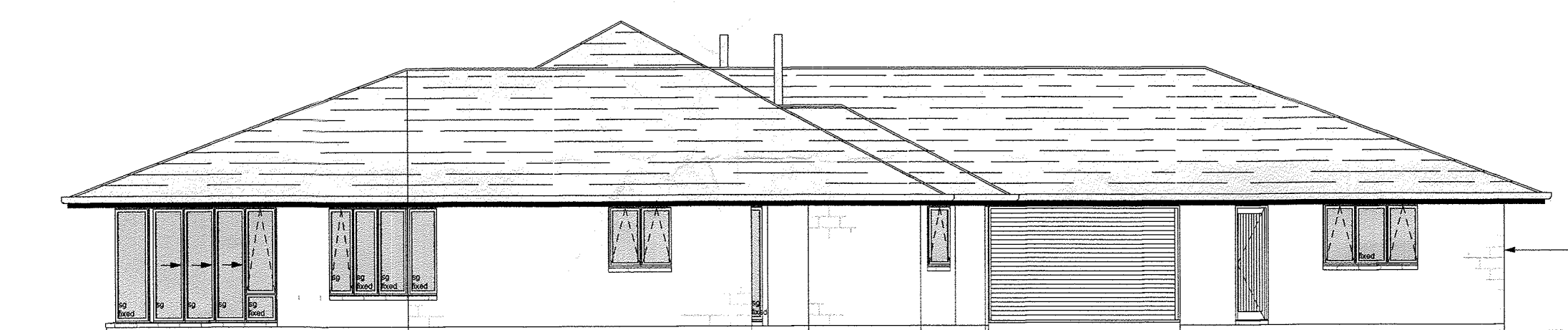
sheet no **03**

SUPERSEDED

south elevation

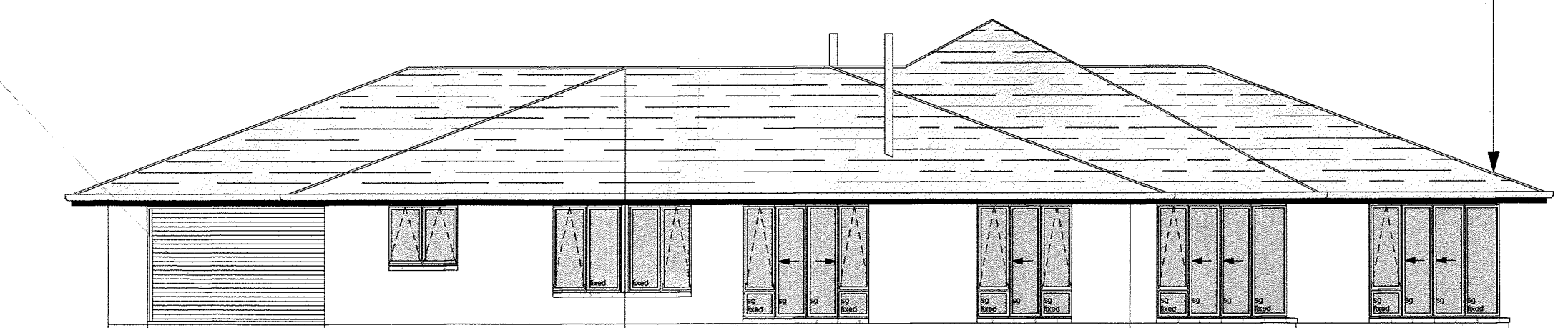
SUPERSEDED

north elevation



west elevation

veneer:
type: clay
size: 70mm



east elevation

roof:
type: Gerard Corona Shake
finish: satin

SUPERSEDED**SUPERSEDED**

Approved Application
Plan PIM 110550
23/5/11 EFB

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conditions of this
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scale 1:100

elevations

sheet no **04**